

Community Pattern Guide
for



Presented by
Caldwell-Cline Architects and Designers

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General Overview

This architectural guide is intended to influence and offer a consistent method for reviewing the overall character of the homes built at Clearwater at Lake Arrowhead. The following information illustrates the principals and details that the developers feel will help to create a community that increases in value of its aesthetic appeal with the construction of each home.

While the definition of good architecture is subjective and sometimes based on the opinion of the individual reviewing the design, this Pattern Guide is a collection of illustrations depicting the details, proportions and theory of design that we will incorporate into this community.

As you proceed through the Clearwater at Lake Arrowhead Pattern Guide you will see that we have attempted to illustrate appropriate and inappropriate details. Details that are not illustrated as inappropriate, but are not shown as approved, should be submitted for approval prior to construction.

As with any document this type there will be exceptions to some of the recommended procedures but unless approved by the Architectural Review Committee (the "ARC") all submittals should be strictly based on the following guidelines.

Architectural Vernaculars

Craftsman Bungalow



Massing:

Typically this style will consist of a rectangular 1 to 1-1/2 story (occasionally 2 story) mass. Predominantly front or side gables with less frequent hipped roofs. Porches are common with full width front porches a distinctive feature of this style. Typically incorporating lower roof pitches and larger overhangs.

Details:

Some frequently used details include: exposed rafter tails, bracketed cornices and rake details, tapered front porch columns, sloped soffits, short square columns on tapered piers, varied window mutton patterns and dormers.

Materials:

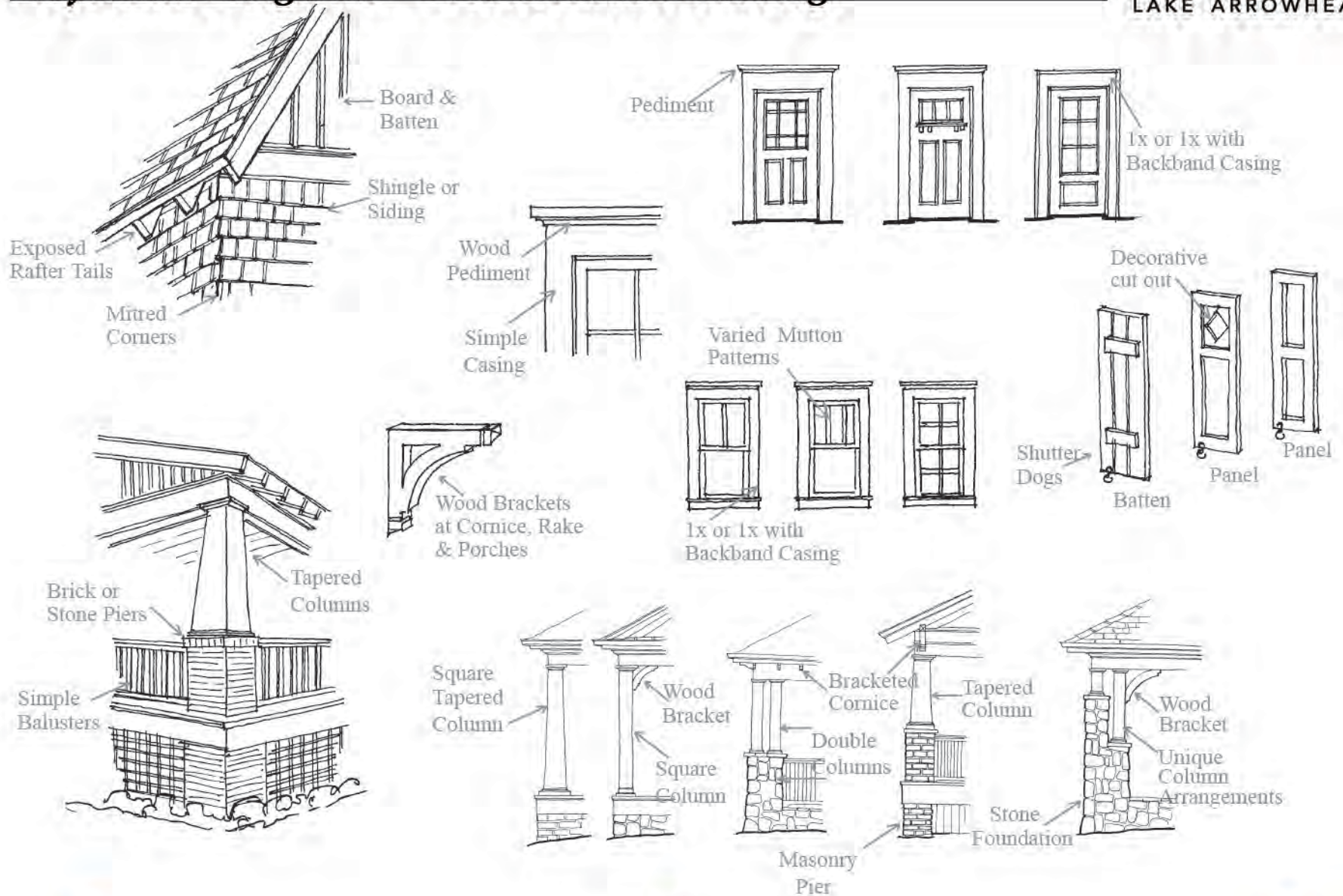
Natural rustic materials are typically incorporated into these homes. Frequent materials include cedar or concrete shingles, horizontal siding, board and batten, stone and brick in earth tone colors. A wide range of color palettes will be considered acceptable for these homes but the most common consist of light trim, darker shutters and a more neutral body color.

General:

This style was predominantly used in the early 1900's in the United States and originated in California. Prominent designers to influence the style were Green and Green Architects based in California around the turn of the century and Gustav Stickley, a New York furniture maker.



Craftsman Bungalow - Architectural Detailing



Southern Vernacular



Massing:

Typically this style will consist of simple forms with a 1-1/2 to 2 story facade. Gable roofs are prominent with the extensive use of dormers and front porches. Porch roofs may be incorporated into the main roof mass but are more typically extended below the main roof at a lower pitch. Shed or gable dormers are acceptable.



Details:

Siding exteriors with corner boards are typical for this vernacular. Additional details specific to this style are: simple column capitals, straight or simple turned balusters, transoms, square or round columns and traditional window mutton patterns.

Materials:

As stated above siding is the predominant material for this style but brick and stone are acceptable alternatives. A combination of two materials will frequently add interest and break up the mass of this character. A wide range of color palettes will be considered acceptable for these homes but the most common consist of light trim, darker shutters and a more neutral body color.

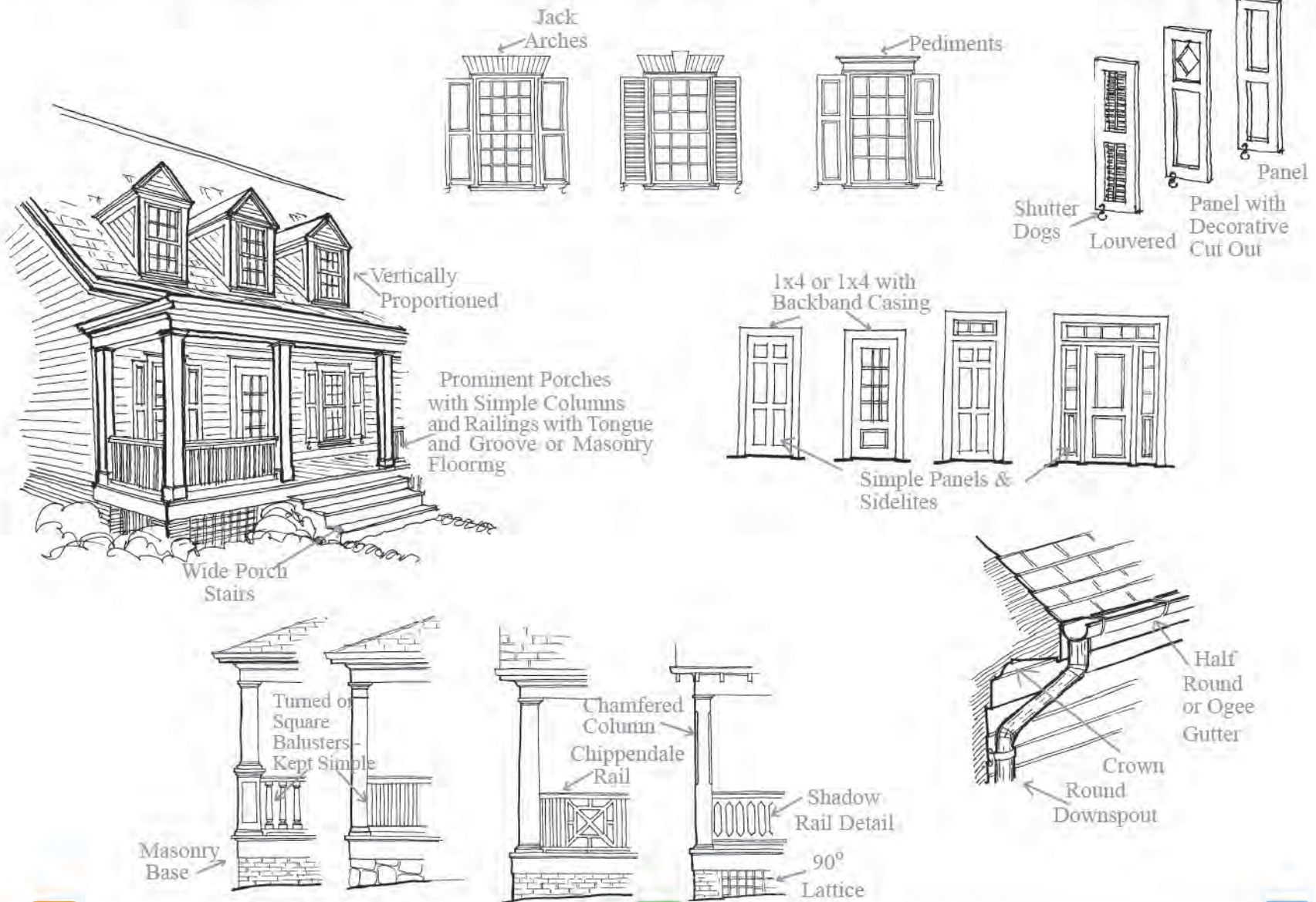


General:

This is a less formal interpretation of the Federal and Georgian vernaculars. Examples of this style are scattered throughout the southeast from urban streetscapes to country farmhouses.



Southern Vernacular - Architectural Detailing



Piedmont



Massing:

Typically this style will consist of 1-1/2 story massing. Examples with 2 story massing should have 1 story porches to break up the 2 story massing. Predominantly front facing gables with limited hip roofs. Front porches are typical and conducive to the casual character of this style.

Details:

Warm colors and materials combined with varied roof lines and rustic details define the Piedmont style. Frequently used details include: exposed rafter tails, decorative cuts on rafter tails, bracketed cornices, bracketed overhangs, woven corners on wall shingles, timber columns, 1x4 casing and understated window pediments. A wide variety of mutton arrangements are appropriate but should be consistent throughout the individual home.

Materials:

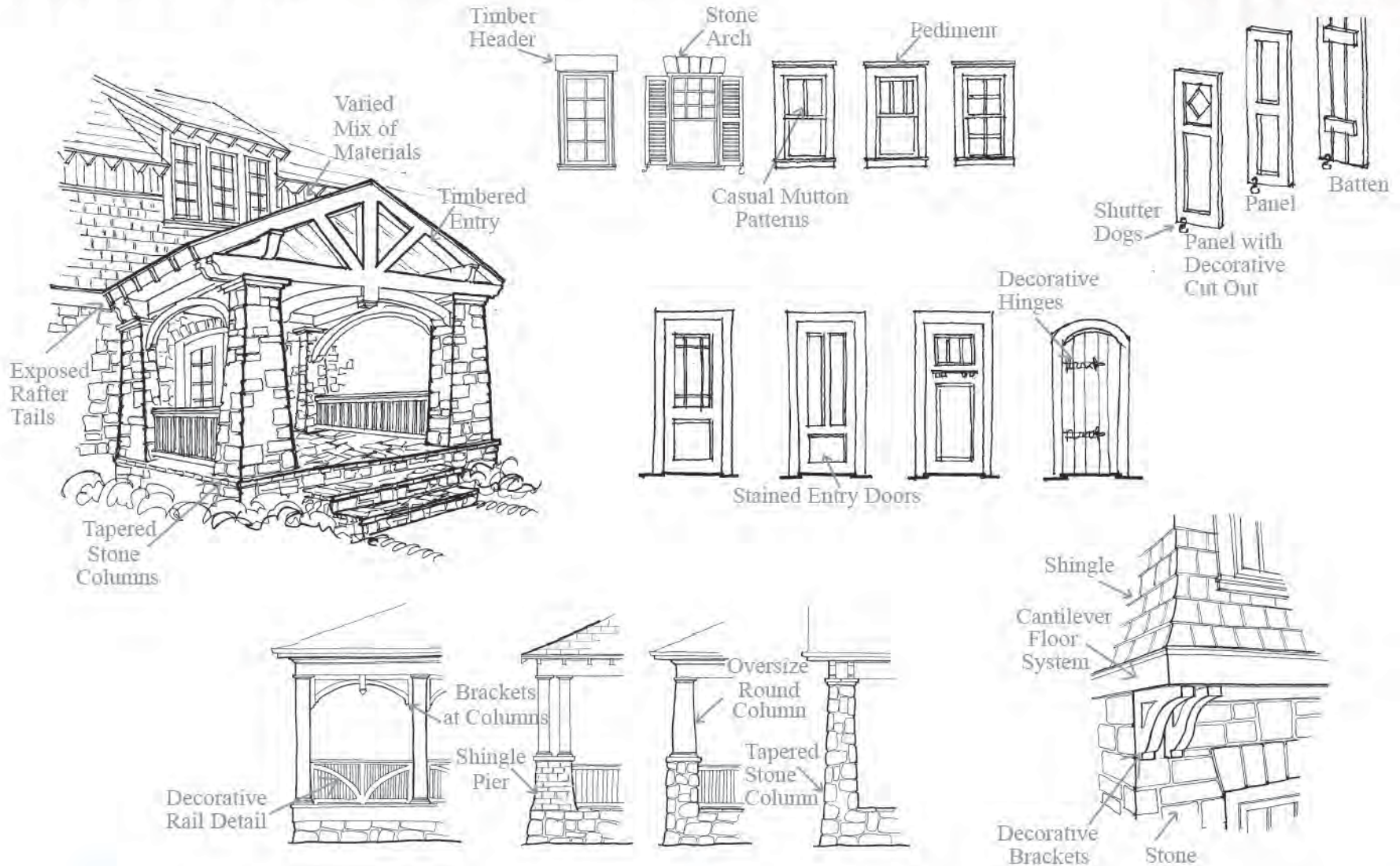
Natural rustic materials are key characteristics of this style. Approved materials include stone, shingle, rough sawn siding and brick in natural earth tone palettes and board and batten. Unlike some of the other characters the use of stain on some of the exterior surfaces is appropriate in this style.

General:

Piedmont is an adaptation of the architecture of the Appalachian Mountains. Inspired by the use of natural materials and homes that were truly an extension of the environment in which they were created, the Piedmont vernacular is a very warm, casual, inviting character of architecture.



Piedmont -Architectural Detailing

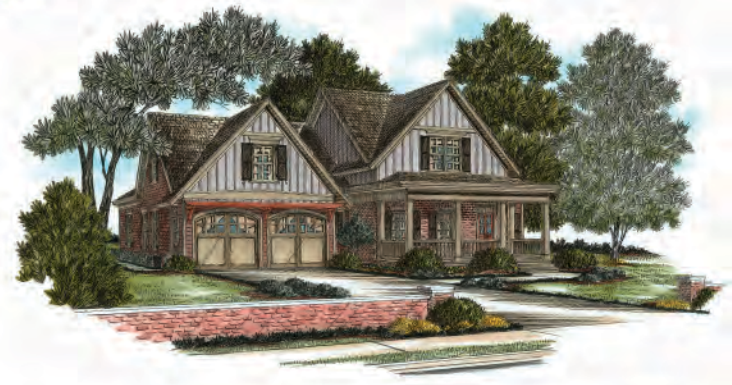


Architectural Detailing

Massing & Proportions

- Overall building mass should emulate one and one half story massing.
- Full two story massing should be avoided by the introduction of one story elements or varied cornice lines.
- Porches should have an independent roof structure separate from the main building mass.
- The introduction of copper or metal accent roofs over front porches is strongly recommended. Metal roofs may be required on secondary accent roofs.

Appropriate



Foundations / Slope Conditions

General

- All foundations to be masonry materials on fronts, sides and rear of all lots unless otherwise approved by the ARC.
- Main level finished floors are preferred to be 18" to 36" above finished grade at front elevation.

Brick

- Introduce break of plane at main level finished floor line.
- Brick shapes, rowlock band or stone ledge are all acceptable breaks.

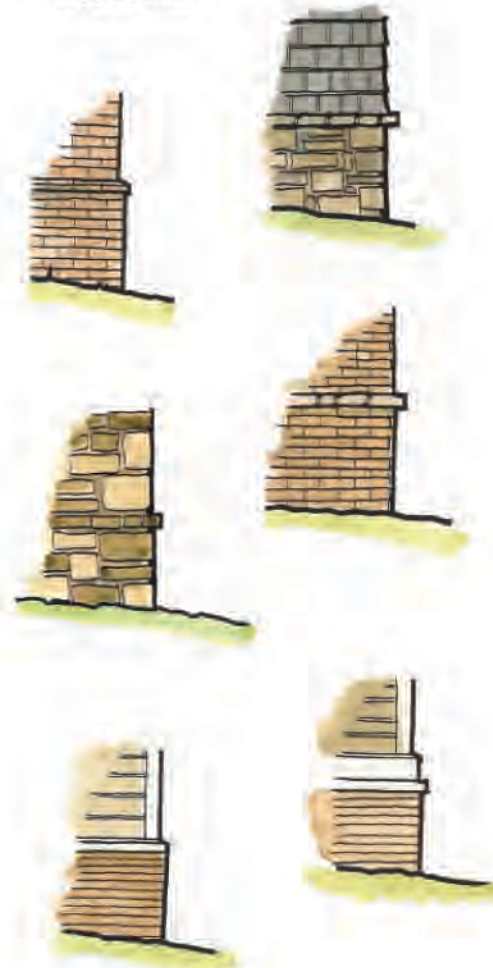
Stone

- Introduce break of plane at main level finished floor line.
- Stone ledge or band are the only acceptable breaks.

Siding and Shingle

- Foundation below must be masonry material (brick, stone or stucco).
- Drip cap at transition or skirt board are acceptable transitions based on the character or architecture.

Appropriate



Exterior Veneers



General

- Mixing materials is a recommended method for adding character and breaking up the mass of the home.
- Any change of exterior materials is to take place on an inside corner. No material change is to take place on outside corners where the thickness of material is easily noticed.
- No vinyl siding is permitted.
- Exterior color palettes should be subtle earthtone color ranges. Pastels should be avoided wherever possible and overall colors should complement the "natural" environment of the development. See pre-approved color palettes for examples.
- Appropriate roof materials include but are not limited to: Fiberglass shingles 300# minimum, Cedar shingles cedar shakes, Slate, Synthetic Slate (sample must be approved), Standing Seam Metal (accent roofs only).
"Weathered wood" is the only approved fiberglass shingle color.
- Roof flashing - exposed metal roof flashing, stack vents, attic ventilators and chimney caps shall be painted to match roof color or flat black. All vent stacks and ventilators must be located on the rear slope of roof unless otherwise approved.
- Step flashing exposed on finished wall surface should be cooper or be painted to blend with adjacent materials (brick or roof). ARC must approve color. Size of flashing steps should not exceed 8 inches horizontally or vertically.
- Ridge vents shall be Cor-Vent type (covered with ridge shigles) or approved equal.

Chimney

- Chimneys visible from any street shall have painted metal or copper shrouds. ARC must approve design of shroud. Exterior finish of chimney chase shall be the same as the side of the house where it is located. (Chimneys on fronts must be brick, stucco or stone.) Chimneys on sides must be brick, stucco or stone at least up to the first floor level. No cantilever on chimneys.

Siding

- Horizontal siding to be solid wood or concrete solid board such as hardi plank or equal.
- Horizontal siding to be 9" maximum exposure and 4" minimum.
- Corner boards to be 1"x 6".

Appropriate



Exterior Veneers (continued)

Shingle

Appropriate

- Shingle siding to be cedar or concrete shingle.
- Shingle pattern to be varied width with straight or sawtooth pattern.
- Woven corners are strongly encouraged but 1"x 6" minimum corner boards are acceptable.

Brick

- Brick to be wood mould or wood mould textured brick with varied color and texture.
- Earthtone brick colors are strongly recommended.
- Mortar colors should be a contrasting but complementary color to the brick used. Recommended color ranges include buff, coosa light, ivory buff, grey and sand.
- No red mortar is to be used in the development.

Board and Batten

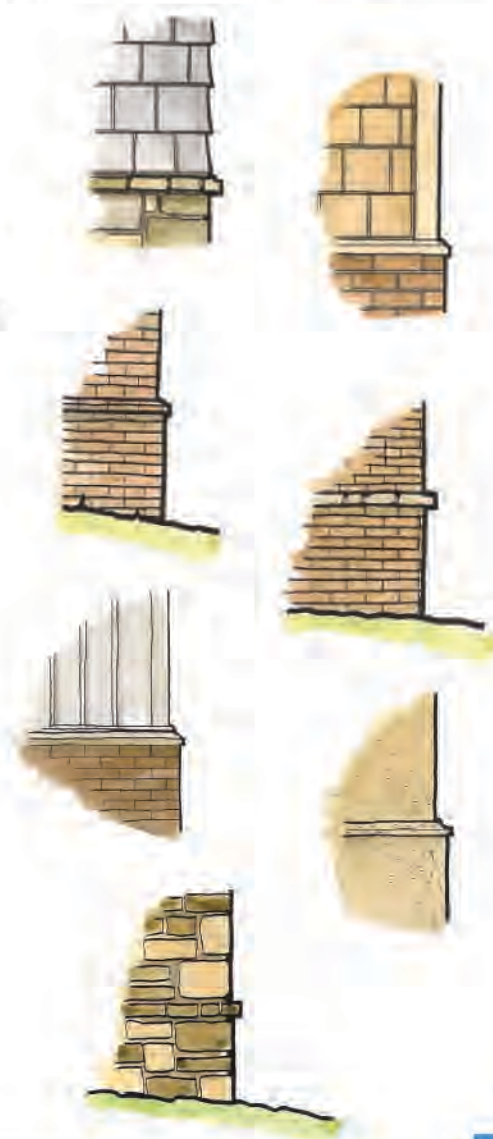
- B&B should be cedar boards or concrete panels with 2x cedar strips at 18" o.c. typical.
- Corner boards to be 1"x 6"

Stucco

- Stucco is to be true masonry stucco. No EIFS synthetic stucco is to be allowed.
- Stucco is not to be allowed as an applied accent over brick.
- Use of stucco is subject to ARC approval, and not recommended.

Stone

- Natural stone is strongly recommended but the use of approved synthetic stone will be permitted. Any stone palette must be submitted to the ARC and approved prior to installation. Predominantly grey palettes are acceptable.
- Stone should not be supported by any other material. For example stone should not be used directly above a brick foundation.



Window Treatments

General

- All Windows to be True Divided Lite or Simulated Divided Lite.
- Grid Between the Glass or Snap in Mutton windows are not permitted.
- All double hung or casement windows should have a mutton pattern appropriate to the style of the home.
- Window type, style, casing and mutton pattern to be consistent around all sides of the house.
- Casing width should be 3-1/2" minimum. Recommended casings include 1 x 4 with backband, WM-3, 1 x 4 or equal.
- No skylights shall be on front slope of any roof. Skylights must have bronze or black anodized frames. Bronze glass is recommended.

Appropriate



Bay Windows

- Both angle bay windows and box bay windows are appropriate based on the style of architecture.
- The front and sides of all bays are to be wood or composite material to emulate wood. The exception to this guideline would be a shingle bay with mitred corners.
- Careful attention should be given to the height of the area above the window head. This should be minimal and often requires a lower ceiling inside the bay.
- Masonry material should not be used on a bay window.
- Bay window overhangs on the front and sides should be minimal and equal on all sides, not to exceed 6".
- Bay Windows – Bays on front or side of house should have a foundation or brackets, and be paneled, bricked or stucco'd or as approved. On the front elevation, bays shall have 4 or 5 inch offset at house wall to accommodate brick where necessary.



Shutters & Dormers

Shutters

- All single window shutters should be $\frac{1}{2}$ the width of the adjacent window and of the same height.
- All double windows with shutters should have shutters that are 24" wide.
- All shutters should have shutter dogs.
- Shutters are to be operable with hinges and shutter dogs on high visibility home sites only.
- Approved shutter styles include panel, louvered and batten. Other shutters must be approved prior to installation.

Appropriate



Dormers

- Dormers should be appropriately detailed and proportioned to match the historic precedent for the particular style of the home.
- Particular attention should be given to the area above the dormer window. This area should be minimal and in proportion with the rest of the dormer.
- Dormers should never receive gutters or downspouts.
- The overhangs on the sides and front of the dormer should be minimal and equal on all three sides.
- Rake and eave overhangs may not exceed 6 inches.



Doors

General

- All exterior doors will be 8'-0" tall with ten foot ceilings and 6'-8" with nine foot ceilings.
- 6'-8" doors with transoms are permitted in lieu of 8'-0" doors.
- No stained glass or ornate decorative glass doors will be permitted.
- No two story glass entries will be considered appropriate.
- No storm or screen doors will be permitted on the front of the home unless approved by the ARC.

Appropriate



Garage Doors

- Garage doors are to be a carriage type garage door from wood or a composite material that emulates wood.
- Standard sixteen panel garage doors are inappropriate.
- Flush doors without applied moulding are inappropriate.
- Front entry garages must have two separate garage doors. No double wide or three car front entries will be permitted.

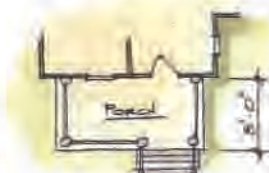


Porches, Cornice & Trim

Porches

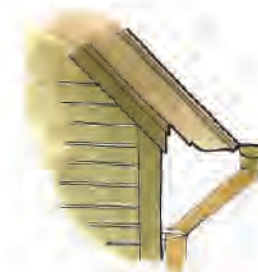
- All front porches are to be a minimum of 6'-0" deep and should be a minimum of 8'-0" on high visibility lots.
- Round or square columns are appropriate but careful attention must be given to the correct proportions of the width and height to match the style of the home.
- The column shaft directly below the capital must align with the outside face of the entablature above.
- Two story porches are not appropriate but double stacked porches are appropriate for certain architectural styles.
- Porches must be supported by a masonry foundation. If the porch is supported by masonry piers, the area between the piers must be screened. Appropriate screening materials include pierced brick, louvered panels, stucco panels and 90 degree lattice.
- Diagonal lattice is inappropriate.
- Steps to grade at all front entries are to be a minimum of 5'-0" wide and attach to a walkway of the same width.
- Porch entablatures to be a minimum of 12".
- Stoops, porches and steps on front and sides of houses shall be brick, stone or stucco unless otherwise approved by ARC. No exposed concrete is allowed.

Appropriate



Cornice & Trim

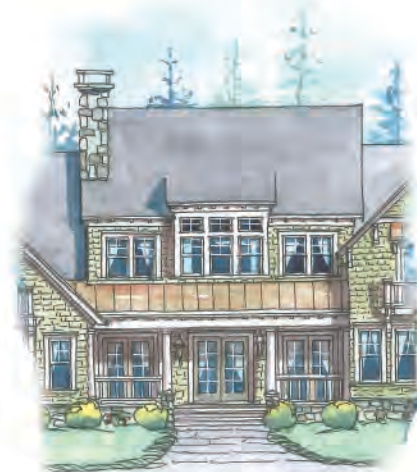
- Cornice proportions and style should be in keeping with the character of the home.
- Metal flashing in cornice returns is to be installed at a maximum 3:12 pitch.
- Flashing inside of all gables not to exceed a 6:12 pitch on shingle roofs.
- "Birdbox" style cornice returns are inappropriate.
- Half round or ogee gutters are approved but all downspouts are to be round.
- Traditional closed cornices as well as exposed rafter tail cornices are appropriate but must match the character of the home design.
- Typical over hang will be 12".



Rear Elevation Architectural Detailing

Rear elevation detailing is required on interior lots to maintain the aesthetic appeal of these homes from the public amenity area of the community, as well as other interior lots.

- Window muttons on the rear of the home to match the pattern of the muttons on the front elevations.
- Window and door casing to match front elevation.
- A masonry water table veneer at the foundation to be 3'-0" above the finish grade at the rear of the house on basement lots or to the main level floor line on non-basement lots.
- Deck and porch support should be treated as a decorative column in lieu of a treated post.
- The addition of brackets and additional details on rear porches or decks is strongly encouraged to create the feel of a finished porch in these areas.
- Chimneys will receive a masonry finish or a panel detail as approved by the Architectural Review Committee.
- Cornice frieze material shall match the depth and detail of the front elevation.
- Any change of materials must be done on an inside corner.
- Side Front entry garages are strongly encouraged but front entry garages shall be allowed provided the front of the garage does not protrude past the front porch of the home.



Site and Landscape Requirements

Grading Plan Requirements

- *Each lot shall have an approved grading plan. The grading plan shall show the following: property lines, setbacks and easements, house foot print, driveway, sidewalks, patios, decks, existing topography, street elevations, proposed grade elevations, finished floor elevation, finished garage elevation, arrows indicating proposed water flow, proposed inlets, pipes and outfall treatment, roof downspout locations and treatment, and drainage swales.*
- *Each lot shall be graded so that the driveway from the house to the street drains positively towards the street.*
- *Each lot shall be graded so that the sidewalk from the house to the street drains towards the street.*
- *No culverts and/or open ended pipes are allowed. All front and side yard drainage shall be sheet runoff or collected in drainage pipes and directed to the back yard. Drainage pipes smaller than 6" in diameter are not allowed.*
- *Water from roof drains in the front yard is to be piped to the back yard on lots where there is 6 feet or greater elevation change from the front of the house to the back of the house.*
- *Setback requirements are to be strictly followed according to Cherokee County zoning regulations.*
- *No house shall be sited such that more than 1/3 of the depth of the house is in front or behind an adjoining home. Exceptions on an individual basis.*
- *No clearing of lots is to be started until ARC sign-off/approval (with approved paperwork having been returned to builder), and until the lot is closed.*
- *Exterior Lighting – Yard lighting and security lighting must be approved by ARC. No bright metal finish will be approved.*
- *Detached Structures - No detached structure of any kind, including but not limited to garages, tool sheds, dog houses, playhouses and play structures, may be erected on any lot unless approved by ARC. Pre-built structures will not be approved unless they are built to match house details and materials. Playgrounds and play sets shall be located and lot screened with approved plantings so they are not visible from the lake or street*

Site and Landscape Requirements (continued)

- Retaining walls shall be finished with masonry to match the house foundation if visible from the street or as otherwise approved. Retaining walls not visible from the street should be *rock or if approved, decorative concrete block*.
- Planting Bed Curbs of extruded concrete must be approved. Artificial textures or patterns cannot be approved.
- Propane tanks must be buried.
- Decks: Decks shall be constructed of cedar, "trex" or pressure-treated lumber with a minimum square footage of 252 sq. ft. per deck or 14'x 18' equivalent in *lakefront* lots and 12'x 14' or equivalent in interior lots. Railing and step design and details must be approved by ARC. Support posts must be a minimum of 6"x 6" wood or a minimum of 20"x 20" stucco or brick columns. Decks constructed with wood posts must have brackets or bracing approved by ARC. No exposed metal posts will be allowed. Metal posts may be used when enclosed with wood, stucco or brick columns meeting the above minimum requirements. Wood posts or columns over 16' in height must be approved by ARC.
- Air Conditioners: Compressors shall be located on sides or rear of house and shall be screened from street-view by approved plantings or fences.
- Drainage Considerations – Adequate lot drainage is imperative for the protection of each individual lot. However, consideration must be given to the interaction with adjacent lots. Each lot shall have adequate drainage that ties into the overall master drainage concept plan and does not negatively impact adjacent or downhill lots.
- Environmental Policy
 - Clearwater at Lake Arrowhead encourages and requires builders to comply with all county and city regulations concerning erosion control while the house is under construction. This includes, but is not limited to, silt fence, check dams, entrance gravel blankets and temporary grassing, etc.
 - Burning is not allowed unless it is done according to applicable county and state law and restricted to unoccupied areas of the community.
 - No on-site burial of any kind shall be permitted.
 - All other building material must be hauled to a landfill or disposed of properly. No dumping is allowed on vacant lots, including another lot owned by the same builder. Violations will result in back-charging.
 - Builders are required to keep their lots free of trash and debris at all times.
- Fencing: See page 25

Landscape Requirements

Landscape Policy

- Each builder is responsible for submitting a landscape plan for ARC approval.
- The builder is required to landscape, sod or seed all disturbed areas as directed by the landscape plan approved by ARC. Undisturbed or natural areas of the lot should be "under brushed" and cleared of all dead plant materials. Pine straw should be installed in disturbed areas or as per the approved landscape plan.

Landscape Plan Requirements

Landscape Planting Plans shall be prepared for all 4 sides of the house. Back yard landscape design will be considered equally as the front landscape design for approval.

- *The Landscape Planting Plan shall show the following: property lines, setbacks and easements, house foot print, driveway, sidewalks, patios, decks, air conditioner compressors, proposed planting beds, plant material locations and spacing, a plant list with quantity and sizes, sod and mulch limits, drainage pipes and structures, and downspout locations.*

Trees

Unless the homesite is otherwise heavily wooded, then the following requirements apply:

- *Hardwood Trees: Hardwood Tree selection is restricted to Oaks and Red Maples. Red Oaks and fall color Red Maple cultivars are encouraged.*
- *Flowering Trees: Flowering Tree selection is restricted to green leaf Redbud and white flowering Dogwood.*

Front Yard Tree Requirements

Each front yard is required to have Street Tree(s) located no closer than 10 feet from the back of curb and not closer to the front building facade than 15 feet. The purpose from the Street Tree is to provide shade to reduce the visual impact of the homes, cool the pavement and provide wildlife habitat for birds.

The following is the minimum number of Street Trees required based on lot size and type:

65' wide lot: One Street Tree

75' wide lot : One Street Tree

85' wide lot: Two Street Trees

95' wide lot: Two Street Trees

All corner lots: One Street Tree in the front yard and two Street Trees in the side yard along the road.

Street Trees must be grade A Specimen 3" caliper minimum at installation.

The approved list of Street Trees is as follows: Red Maple: Cultivars ("Red Sunset" and "October Glory" are recommended for their fall color), Willow Oak, Shumard Oak & Northern Red Oak.

Landscape Requirements (continued)

Each front yard is required to have Flowering/Understory Tree(s) located no closer than ten feet from the back of curb and not closer to the front building facade than fifteen feet. The purpose for the Flowering/Understory Tree is to provide seasonal color, shade to reduce the visual impact of the homes, cool the pavement and provide wildlife habitat for birds.

The following is the minimum number of Flowering/Understory Trees required based on lot size and type:

65' wide lot: One tree

75' wide lot : Two trees

85' wide lot: Two trees

95' wide lot: Two trees

All corner lots: Three trees

Flowering/Understory Trees must be Grade A Specimen 2" caliper minimum at installation.

The approved list of Flower/Understory Trees is as follows: Kwanzan Cherry, Yoshino Cherry, Green Leaf Japanese Maple, Eastern Redbud, Flowering Dogwood (white bloom only), Kousa Dogwood, Crepe Myrtle or red foliage trees such as Red Japanese Maple or Pink Pansey Redbud.

Side Yard Requirements

The side yard plantings include a dense evergreen screen along the adjoining property line for a distance of 20' minimum measured from the front facade of the house.

On corner lots the dense evergreen screen shall extend the entire length to block views into the rear yard from the adjacent street.

Rear Yard Requirements

The rear yard plantings include a dense evergreen screen along the adjoining property line providing a visual screen to the adjacent lot. The dense evergreen screen is not required when a lot abuts Community Open Space. The dense evergreen screen shall be minimum height of four feet within two years of planting. Dense evergreen plant material shall be 3 gallons at installation. Maximum height of 6'.

The approved list for dense evergreen plant material is as follows: Cleyera Japonica, Florida Anise, Fragrant Tea Olive, Green Loropetalum, Holly, Little Gem Magnolia, Rhododendron, Wax Leaf Ligustrum & Wax Myrtle.

Landscape Requirements (continued)

Sod

Sod coverage shall not exceed 25% of the landscaped area unless required to prevent erosion. Due to the unique nature of the Lakefront Lots and to protect the water quality of Lake Arrowhead the sod restriction requirements are waived. All drainage swales and water runoff areas shall be sodded unless otherwise approved by the ARC. All disturbed areas shall be sodded or pinestrawed. Permanent is not allowed. Sod shall be Bermuda 419.

Prohibited plants

All topiary, lollypop, vertical spire and/or unnatural shaped plants.

All junipers

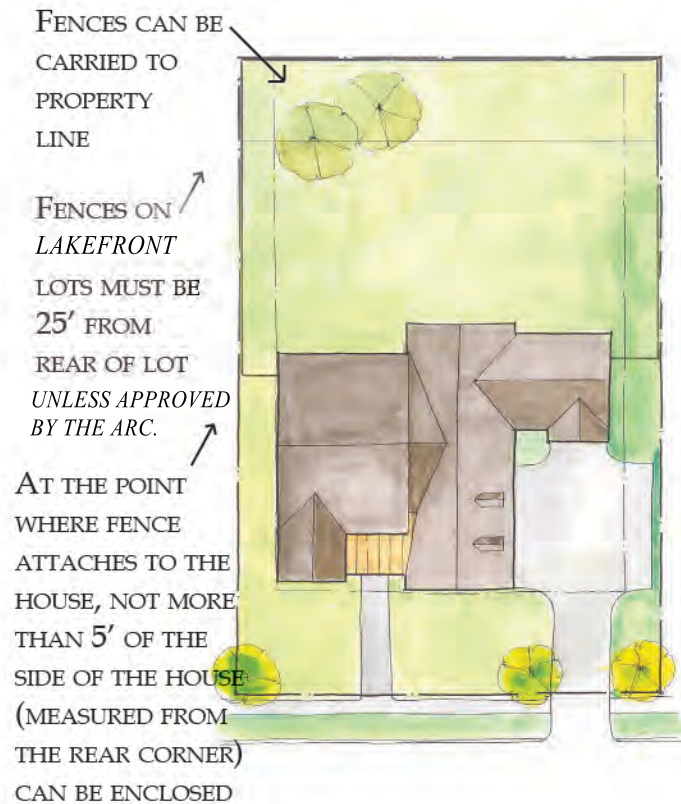
Sycamore, Sweetgum, Bradford Pear & River Birch trees.

Invasive plants (defined by the Georgia Department of Agriculture and the Georgia Extension Service) including, but not limited to, Chinese Privet, Mimosa, Japanese Honeysuckle, Chinaberry Tree, Chinese Tallow, Wisteria, English Ivy & Liriope Spicata.

ARC has right to approve dry creek bed drainage swales, in their sole discretion.

Fences

Appropriate



*Painted aluminum fence
5' - 6' high*



*Masonry piers with
aluminum*

- *All painted aluminum fencing must be black.*
- *Chain Link fences, front yard fences and dog runs are prohibited.*
- *Other fence designs submitted are subject to ARC approval.*

Dock Requirements

Lake Arrowhead is one of the largest privately owned lakes in the State of Georgia. At 540 acres the lake has 11 miles of natural shore line.

It was built to provide recreation and natural beauty. It is the largest asset and enhances property values for every homeowner in the Lake Arrowhead community. It is critical that the shoreline, adjacent vegetation and tree canopy, and the visual integrity be protected.

The Architectural Review Committee (the "ARC") provides oversight to protect the shoreline bank and regulate docks and other structures on the lake.

Dock Permit Application

Prior to any ground disturbance activity or the installation or construction of any dock or other dock/shoreline related improvements affecting the lake, shoreline or lake buffer areas, a permit must be approved by and issued by the ARC.

A non-refundable application fee of \$350.00 must be submitted with the completed application. See www.clearwaterla.com for current application.

Permit Instructions

If the application is incomplete or the appropriate drawings are not included, the application will be returned for further information.

A completed application submittal must include the following information:

- 1. Application for Dock Permit completed in full accompanied by the non-refundable application fee of \$350.00*
- 2. Specification and materials list.*

Dock Requirements (continued)

3. Drawing to scale on 11"x17" maximum sheet size. Larger drawings may be submitted for support. Drawings must show the following information:
- Proposed location of dock and any decks and/or steps within the buffer in relationship and distance to docks on either side and across a cove or channel from the applicant's dock.
 - Distance to property line or any such extended imaginary lot line as determined by extending lakeward perpendicular to the main shoreline. The purpose is to be sure that out in the water the boating space is not impeded by construction projects or docking.
 - The distance from the end of the dock to the center of the cove or channel and the distance across the cove or channel.
 - The distance to the nearest dock on each side of the applicant's dock.
 - Dimensions and square footage of the proposed dock, steps, walkway and/or deck.
 - Landscape plan for all property within the 25' State Buffer.
 - Submit photos of pre-construction (current) shoreline and 25' State Buffer landscape.

Mail or deliver the completed package to:

Clearwater ARC
Clearwater Sales Center
Lost Town Trail (Outside South Gate)

Construction Application

The application will be reviewed to make sure it contains all of the necessary information. The application will be evaluated based on the location, elevation, and environmental impacts of the proposed dock. The location of the proposed dock and property boundaries in relation to existing docks will be considered as well as the impact on adjoining property site lines.

Dock Requirements (continued)

The review of the application may require approval or comments from federal, state or local agencies. Applicants must comply with the requirements of all other applicable regulations, restrictions, covenants and ordinances. Any federal, state and/or local required approvals are to be submitted with the construction application.

Failure to provide any required information may result in denial of the application or delay in the processing of the application.

Construction may not begin until a permit has been issued. The ARC has the right to direct the removal of docks and other structures and evoke enforcement fees if construction begins without a permit.

Final Inspection Review:

The applicant will provide a survey and photographs of the dock and 25' State Buffer upon completion to verify that the facility was installed in conformance with the approved construction permit. This survey may be waived by the Lake Arrowhead ARC based on a final field inspection.

The Clearwater at Lake Arrowhead ARC will review the construction documents, permit application and field conditions.

The Clearwater at Lake Arrowhead ARC will grant approval for use, conditional approval for use, or deny for use with the specific conditions that must be met for approval.

In addition, the Clearwater at Lake Arrowhead ARC has the right to direct the removal of docks and other structures and evoke enforcement fees if at time of final inspection it is determined that the structure(s) do not meet the aesthetic and structural specifications of the initial application.

Dock Requirements (continued)

Permitting Guidelines

Resource Protection Guidelines

Buffers

Cherokee County and the State of Georgia have established a 25' stream and lake buffer. This buffer is around the entire shoreline of Lake Arrowhead. There are also federally protected wetland conditions in various locations in and around Lake Arrowhead. There are specific restrictions on construction activities within these areas. A federal, state and/or county permit may be required for improvements such as sidewalks, gravel and mulch paths, decks, docks, and similar improvements. The applicant is required to obtain all necessary governmental permits or approvals and written authorization prior to submitting for a Construction Permit.

No mechanical clearing within the buffer is allowed.

Bank Stabilization

Bank stabilization, if required, must be contained to the area required for the dock only. Bank stabilization location and materials must be included as part of the dock application. A federal, state and/or county permit may be required for bank stabilization.

Vegetation and Debris Disposal

Disposal of cleared trees, vegetation and/or construction debris in the lake is prohibited.

Dock Specifications

All docks must be constructed so that they meet or exceed the following specifications:

Dock Size

The maximum allowable dock area shall not exceed 400 square feet. This area includes the mooring area and entertaining area.

All docks must be located within the applicant's property lines extended lakeward perpendicular from the shoreline. If there is a dispute the decision of the Clearwater at Lake Arrowhead ARC will govern.

Docks must not exceed 40 feet in length measured parallel to the shore line.

Dock Requirements (continued)

Dock Size (continued)

The dock and walkway must not extend further than 20 feet in length measured perpendicular from the shoreline based on the high water level.

The Dock shall not extend more than 24 inches above normal water level.

Docks, access walkways and/or stairs must be set back 15 feet minimum from the side property line at the lake edge, unless otherwise approved by the ARC.

Docks must be constructed with environmentally safe materials. Wood used must be pressure treated and meet the latest requirements of the Environmental Protection Agency (EPA) unless otherwise approved by the ARC.

Hardware must be marine quality.

The docks on Lake Arrowhead may be stained with SW 3003 Buckthorn only. Water sealant is allowed.

Dock Restrictions

No habitable structures will be allowed on the docks.

Docks may not be configured so they enclose or fence in water for private use.

Shade structures, canopies or roofs must be pre-approved by the Architectural Review Board and site lines of adjoining properties will be considered.

Benches are allowed on docks.

Dock lighting is restricted to low level lighting on motion sensors to allow for safe docking of boat after dark. Dock lighting must be submitted as part of the dock permit application.

The design and specifications of handrails, dock ladders and boat lifts must be submitted as part of the dock permit application.

Waterslides are prohibited.

Each dock is restricted to accommodate no more than two (2) motorized boats.

Dock Examples



** may only be appropriate on steep lots to water*

